



Interim Development Assessment Policy 2013

Part C4

Ashfield West

SECTION 1

PRELIMINARY	1
Introduction	1
Map 1 Applicable land	2
Objectives	3
How to use this Part of IDAP 2013.....	4
Relationship of Part C4 to other planning documents.....	4
Lodging a Development Application	4

SECTION 2

BUILDING & LANDSCAPE DESIGN CONTROLS.....	5
1 Context.....	5
2 Building Height and Location.....	7
3 Landscape	11
4 Pedestrian Amenity & Safety.....	15
5 Residential Amenity	18
6 Commercial Development	23
7 Social Considerations & Residential Development	25
8 Development Servicing.....	26
9 Environmental Management.....	30
10 Controls for Special Areas	33

MAPS

Map 1 Applicable Land.....	2
Map 2 Maximum Number of storeys.....	9
Map 3 Landscape Areas	14
Map 4 Active Street Fronts.....	17
Map 5 Development Servicing & Access	28
Map 6 Corner Liverpool Road & Frederick Street & Milton Lane.....	35

FIGURES

Figure 1 Explanatory - Maximum Number of Storeys	10
Figure 2 Section - Public Verge Area	13
Figure 3 "Winter Garden Balconies"	20
Figure 4 Northern Orientation.....	20
Figure 5 Dual Aspect Apartments - Southern side.....	21
Figure 6 Dual Aspect Apartments - East/west side.....	21
Figure 7 Development Servicing Concept Plan - business use ...	29
Figure 8 Development Servicing Concept Plan - residential use.	29

SECTION 1 PRELIMINARY**Introduction**

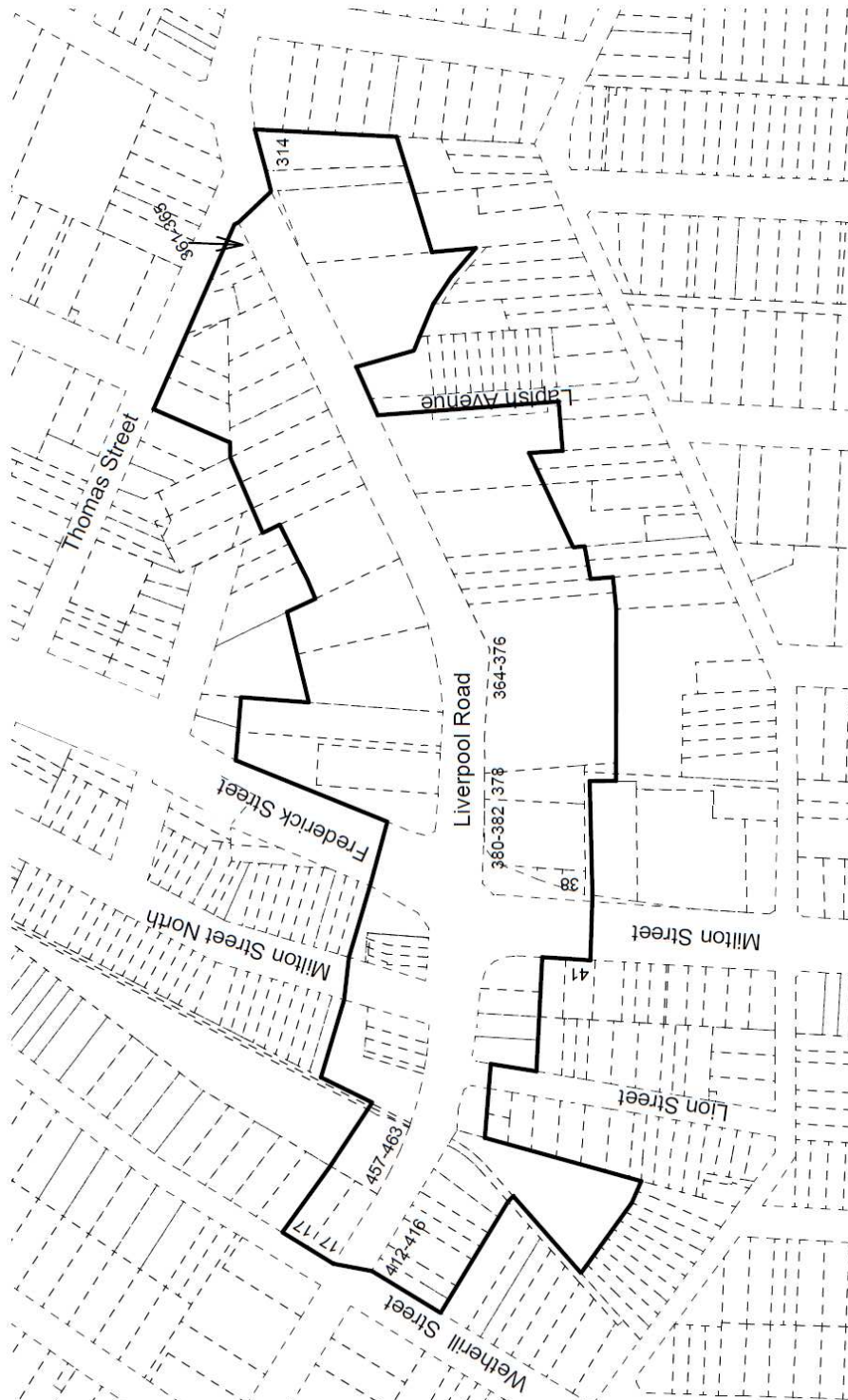
Ashfield Local Environmental Plan (**LEP**) is Council's main planning control for development in business centres in the Ashfield Council Local Government Area.

Part C4 of IDAP 2013 supports the LEP by providing additional objectives and development standards to enhance the function and appearance of the Ashfield West area.

Applicable land

Part C4 applies to land within the area edged in heavy black on **Map 1** . This area is referred to as "Ashfield West".

MAP 1 - APPLICABLE LAND



Objectives**Complement other legislation**

- 1 Produce controls specific to residential flat development and shop top housing in Ashfield West not contained in State Environmental Planning Policy No 65, and the Residential Flat Design Code. In addition, produce generic controls for non residential development permitted in the B4 Mixed use Zone in Ashfield West in the Ashfield LEP 2013.

Context

- 2 Identify the townscape elements and environmental considerations unique to Ashfield West which must be taken into account by new development, including considerations pursuant to the SEPP 65 "Context Principle".

Built form and scale

- 3 Define the desired character of the Ashfield West townscape (see Definitions), in terms of building scale, building setback, building design, street scale and open space requirements, and the desired interface between public and private domain in order to promote development outcomes that will have a positive, transformative effect.

Standard of architectural composition

- 4 Achieve a high level of architectural and landscape design composition (see Definitions) in Ashfield West, in order to provide an attractive built and landscape form, a "sense of place" for residents, and create a distinct spatial character.

Active interface between street and buildings

- 5 Require active street frontages (see "Definitions") where appropriate, with good physical and visual connections between buildings and the street, in order to provide good levels of pedestrian safety.

Amenity

- 6 Ensure residential development provides adequate occupant amenity including winter solar penetration to living areas, and maintains privacy and solar access to existing residential development.

Public Domain

- 7 Provide a high quality landscape setting to the frontages of buildings along Liverpool Road which will improve the visual and environmental quality of the area. In practical terms this means more tree planting and upgraded footpaths to significantly enhance amenity for pedestrians along Liverpool road and an improved setting for all buildings.

How to use this Part of Ashfield Development Control Plan 2014

Ashfield Development Control Plan is a multi-layered document. The objectives and development standards of this Part of Ashfield Development Control Plan cannot be read in isolation. A development application must consider all relevant Parts of this Policy.

Part A contains an index of the parts and sections in the Ashfield Development Control Plan and guidelines on how to use the Policy including the steps you need to follow before you prepare your development application.

Relationship of Part C4 to other planning documents

Council will assess a development application according to:

- (a) **Section 79C of the Environmental Planning and Assessment Act, 1979;**
- (b) State Environmental Planning Policies;
- (c) Ashfield Local Environmental Plan 2013;
- (d) Ashfield Development Control Plan 2014;
- (e) Section 94/94A Contribution Plans;
- (f) Ashfield Stormwater Management Code;
- (g) **Policies, legislation or studies adopted or** recognized by Council that are relevant to the development application.

Lodging a Development Application

Our development application forms can be downloaded (www.ashfield.nsw.gov.au) or contact Council on 9716 1800. The form contains a self-assessment checklist to help you complete your application.

Note1 : Ashfield Council has a free Development Application pre-lodgment Process in place which aims to reduce processing times by assisting applicants with submission of their application. Please visit: - http://www.ashfield.nsw.gov.au/page/the_da_assessment_process.html for more information.

Note 2 : If your development proposal is likely to have significant heritage impacts we recommend you take advantage of our **Heritage Advisory Service**. Call Council on 9716 1961 to make an appointment.

Note 3: Certain residential and commercial development as specified in **State Environmental Planning Plan (Exempt and Complying Development Codes) 2008** and in the **Schedules to Ashfield LEP 2013** may be carried out without the need for development consent subject to meeting specific requirements .

Useful links:

- [Ashfield LEP](#)
- [NSW Housing Code](#)
- [NSW Commercial & Industrial Code](#)

SECTION 2 - BUILDING AND LANDSCAPE DESIGN CONTROLS**1 CONTEXT**

OBJECTIVES**Architecture and Landscape**

- 1 To identify key matters that affect building and open space design and influence the “desired character” of the townscape of the Ashfield West strip.

SEPP 65 and Desired Character

- 2 To provide a description of future “desired character” in order to address the “Context” Principle 1 of State Environmental Planning Policy No 65, which applies to residential flat buildings 3 storeys or higher, and requires consideration of a “desired future character” as stated in the planning and design policies in that document.

CONTROLS**Building Appearance**

- 1 As a response to State Environmental Planning Policy no 65, Principle 1- Context, Principle 10 – Aesthetics, the desired character for architectural composition of residential flat buildings shall be of a traditional architectural composition, (see “Definitions”) and as recommended in the “Residential Flat Design Code” in Part 03 - Building Design, Building Form, Facades, except in circumstances where Clause 2 below applies.
 - 2 Council will support a modern/contemporary architectural appearance only when a high compositional standard (refer to Definitions) is achieved.
If a *high compositional standard* (see Definitions) cannot be achieved, and in order to avoid a “bland” building appearance, a traditional architectural language is required in accordance with Clause 1.
 - 3 Non residential buildings employing contemporary or non-historic building styles shall achieve a high compositional standard.
 - 4 Ground Level Shopfront Design shall respond to the relevant controls in **Part 6 - Commercial Development**.
 - 5 Large side wall facades which are prominent/visible such as occur in apartment and/or commercial buildings, must be modelled to give the building an attractive, articulated appearance and a high compositional standard.
-

Vibrant and Safe Ashfield West strip

- 6 Development along the main road(s) of the Ashfield West “strip” shall create a lively pedestrian environment and maximize public safety by having an active frontage to ground level shopfronts or for other commercial uses, or by having wide glazed ground level entry foyers into apartment buildings. Refer to **Part 4 – Pedestrian Amenity and Safety**.

Building Locations and spatial definition of public domain

- 7 Refer to **Section 2 –Building Heights**, and **Map 2** which requires (for urban design reasons) buildings to address the road and to be in a position which gives spatial definition to the street/road by having consistent front buildings setbacks in some areas and in addition requires certain sites in other areas to have buildings sited in a way that which will give spatial emphasis e.g. corner sites.

Front Gardens and tree planting

- 8 Refer to **Section 3 - Landscape** which requires an attractive, visually consistent landscaped public domain along main roads within Ashfield West, by having particular sites with front gardens with deep soil areas for the establishment of tall tree planting.

Signage

- 9 Signs must visually complement (not challenge) the architectural composition of buildings and should enhance the Ashfield West townscape. Refer to **Part C2** for guidelines. **Ashfield Local Environmental Plan 2013** permits certain types of signs to be erected or replaced without approval (subject to conditions). Refer **Schedule 2** (Exempt Development) of the [Ashfield Local Environmental Plan](#).

2 BUILDING HEIGHT AND LOCATION

OBJECTIVES:

Overall Building Height and number of storeys.

- 1 Define the maximum permitted building scale including number of storeys, taking into account the following definition of building height in Ashfield LEP 2013:

Building height (or height of building) means the vertical distance between ground level, existing and the highest point of the building, including plant and lift overruns, but excluding communication devices, antennae, satellite dishes, masts, flagpoles chimneys, flues and the like.

and taking into account also the following Clause 4.3 (2A) of the Ashfield LEP 2013

If a building is located on land in Zone B4 Mixed Use, any part of the building that is within 3 metres of the height limit set by sub clause (2) must not include any area that forms part of the gross floor area of the building and must not be reasonably capable of modification to include such an area.

Ground level Commercial

- 2 Provide adequately sized ground floor ceiling heights to establish flexible and functional commercial ground floor layouts.

Servicing

- 3 Provide adequate ground floor height clearances for site servicing for waste collection and loading and unloading by trucks.

CONTROLS

Maximum Building height

- 1 Maximum building heights are shown on the Ashfield LEP 2013 Building Heights Map, and are affected by the limitation in Clause 4.3 of **Ashfield** LEP 2013, see the explanatory notes in **Figure 1**. The maximum number of storeys are shown in **Map 2** which defines the maximum desired building scale for Ashfield West, generally measured to the parapet edge or roof pitching point of a building.
- 2 New buildings shall be located in a place which maximises separation with neighbouring house properties, and also provides an appropriate building orientation which addresses the other objectives of this Part, such as solar orientation. Refer to **Map 2**.

Building Locations

- 3 Buildings should be located and arranged in a way which gives spatial definition to the road and provides surveillance of the public domain. Refer to **Map 2** which shows site locations for:
- buildings with zero front setbacks for spatial definition of corner areas and containing ground floor non- residential uses, OR
 - buildings to be setback from the front boundary to enable landscape areas for tall tree planting.

Refer also to **Section 3 - Landscape** and **Map 3 - Landscape Areas** for the location and minimum width requirements for deep soil planting areas.

Buildings within locations where front setbacks apply - see **Map 2** - shall have a minimum setback to the front building line (see Definitions) of 6 metres in order to provide uniformity, order, and continuity of building form along the public domain.

Building Scale relationship with neighbouring residential properties

- 4 New buildings adjacent or nearby neighbouring houses and R3 Medium Density Zones must step down in building scale if required in order to be at a level which is sympathetic in height with those properties, as generally shown on **Map 2**.

Maintaining northerly solar access for adjoining properties.

- 5 Development must not compromise the ability of adjacent sites to build to their full floor space ratio potential. Issues that need to be considered are maintaining northern winter solar access to future potential residential flat development on adjacent sites.

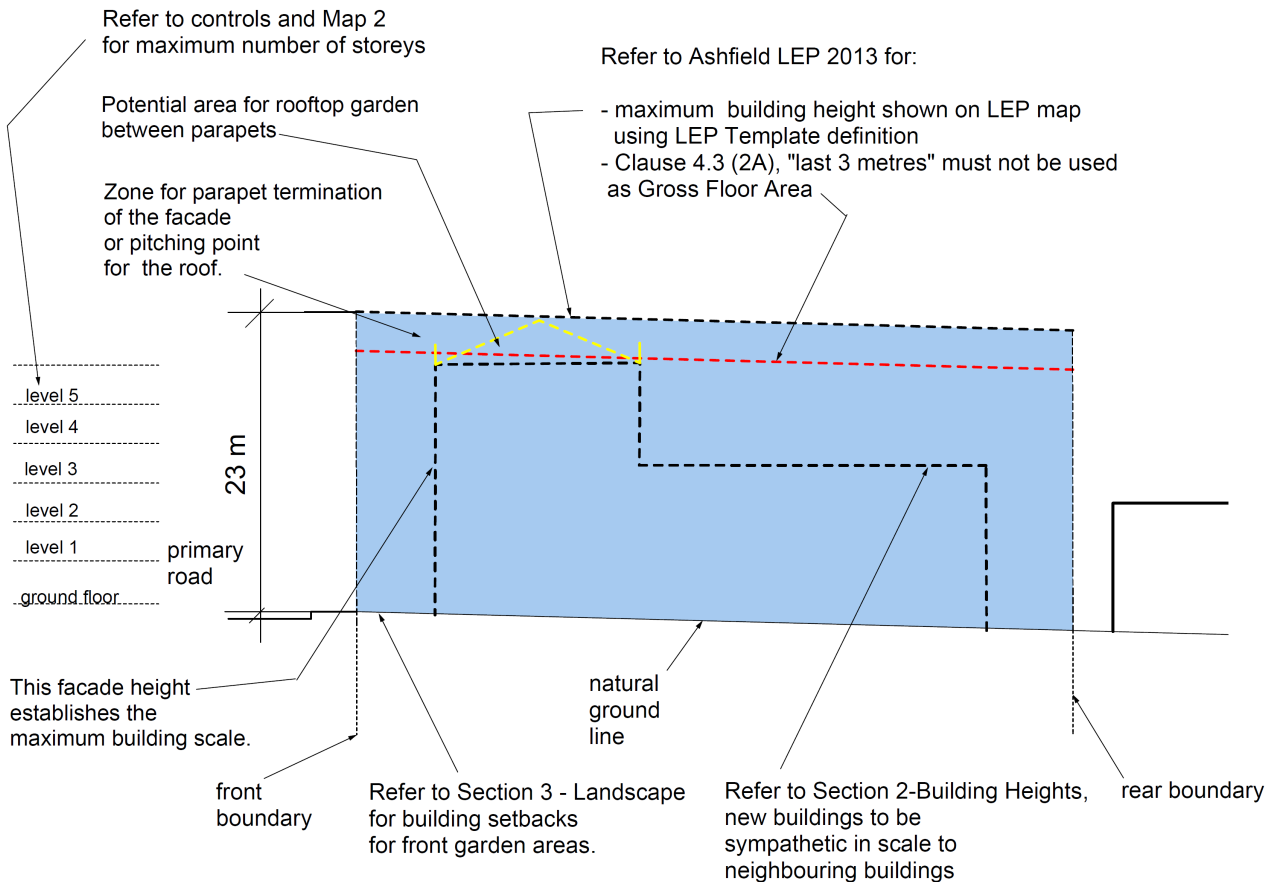
MAP 2 follows – Maximum number of storeys and preferred building locations

FIGURE 1 follows – Explanatory Diagram- maximum number of storeys

MAP 2 – Maximum number of storeys and preferred building locations



FIGURE 1 – Explanatory Diagram - maximum number of storeys



Note : The maximum number of Storeys shown on **Map 2** which defines the maximum building scale and the principles illustrated on **Figure 1** above are based on the following:

1. **Ashfield LEP 2013** requires “**Building Height**” to be **measured from the line of slope of the natural ground level** to the uppermost part of the building including plant rooms etc. **Maximum building heights** stipulated in the LEP have been derived at by taking into **account** a 3 metre height allowance for a non habitable “roof level” containing structures such as plant rooms, see **Clause 4.3 2A** of Ashfield LEP 2013.
2. Maximum permitted building height accommodates sloping land levels. It also accommodates higher ground floor to ceiling heights for commercial uses to accommodate vehicle servicing requirements and truck access into buildings.
3. Figure 1 uses a 23m height limit to illustrate principles. Where other sites in Ashfield West have lower maximum heights similar principles apply.

3 LANDSCAPE

OBJECTIVES

- 1 Provide an aesthetically attractive, visually consistent landscaped public domain along Liverpool Road and other roads within Ashfield West.
- 2 Identify areas that require deep soil planting, allowing for planting of trees and significant plantings. The aim is to enhance the townscape setting of buildings and improve urban air quality/ biodiversity, and to provide amenity for neighbouring properties.
- 3 For residential flat development to which State Environmental Planning Policy No. 65 applies, including buildings with 4 or more apartments and 3 storeys or higher, communal landscape areas required under this policy must be identified.

CONTROLS

Main road frontage and building structure setbacks for front gardens and trees

- 1 Development must provide a building setback including a setback to any basement levels to enable a 3 metre wide deep soil planting area (see Definitions) along the main road frontage for establishment of tall trees (tree species will be specified by Council) as shown on **Map 3 – Landscape Areas** and in **Figure 2**.

A 3 metre deep soil width is required in order to have adequate soil volume, drainage conditions etc. for trees to thrive and sufficient width to allow for tree canopies.

Communal Open space

- 2 For apartment development to which State Environmental Planning Plan No. 65 applies, , **communal landscape areas** must be provided for the sites identified in **Map 3**, complying with [SEPP 65 Residential Design Flat Code](#) area requirements.

Communal open space (see Definitions) may be located either at ground level and/or on the roof of a building e.g. as a rooftop garden/courtyard.

Note: Landscaping of all types of buildings, including provision of roof gardens where practical is strongly encouraged. A **landscape concept plan** should be prepared and submitted with the development application. This should indicate the landscape principles to be used. Depending on the type of development and site circumstances, Council may apply conditions of consent requiring a more detailed landscaping plan/landscape maintenance plan to be submitted for approval after a development is approved (refer to Council's development application form for more information). All landscaping will need to be completed prior to occupancy of the building.

Rear and/or side Landscape Buffer Areas

- 3** Development within the area shown on **Map 3** must provide a building setback including a setback to any basement levels for positions shown on **Map 3** to enable a 3 metre wide deep soil planting area (see Definitions) along the boundary with neighbouring dwellings. This area is to be densely planted with trees in order to provide screening of new development and maintain privacy for neighbouring houses.

Note: A 3 metre deep soil width is necessary in order to have adequate soil volume, drainage conditions etc. for trees to thrive and create sufficient width to allow for tree canopies.

RMS land - corner Liverpool Road and Milton Street

- 4** Refer to **Section 10** for landscape requirements for corner sites at Liverpool Road and Milton Street. See **Map 3 - Landscape Areas** and **Map 6**.

Ashfield RSL site at 364-378 Liverpool Road

- 5** Refer to **Section 10** and **Map 3** for special landscape requirements for Ashfield RSL site - 364-378 Liverpool Road.

6 Trees

Trees to be planted along the frontage of sites, as required by Clause 1, shall be -

- planted at a minimum initial height of 1.8m;
- species approved by Council;
- planted at regular intervals.

Planter Boxes

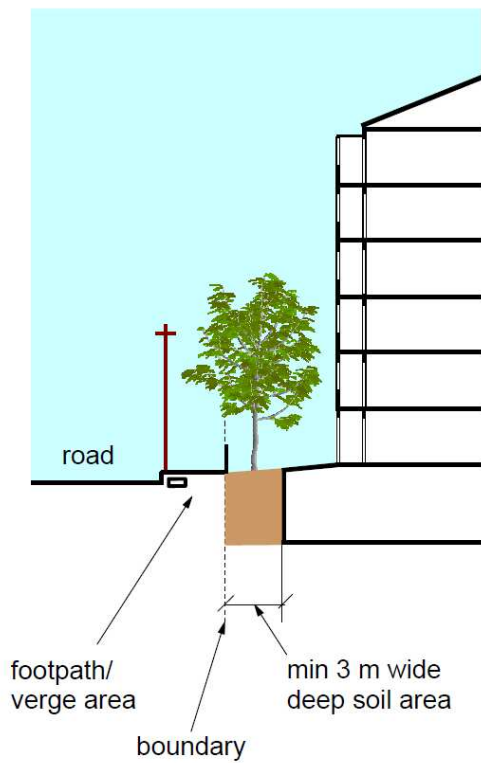
- 7** Planter boxes, such as those provided on roof top communal open space, shall :
- provide soil depth, soil volume and soil area appropriate to the size of the plants to be established, in accordance with Table 1;
 - provide appropriate soil conditions and irrigation methods; and
 - providing adequate drainage ,

The above information shall be shown adequately on any submitted Landscape Drawings, and be coordinated with the architectural documentation to take into account the structure of a building including slab thicknesses and beam locations.

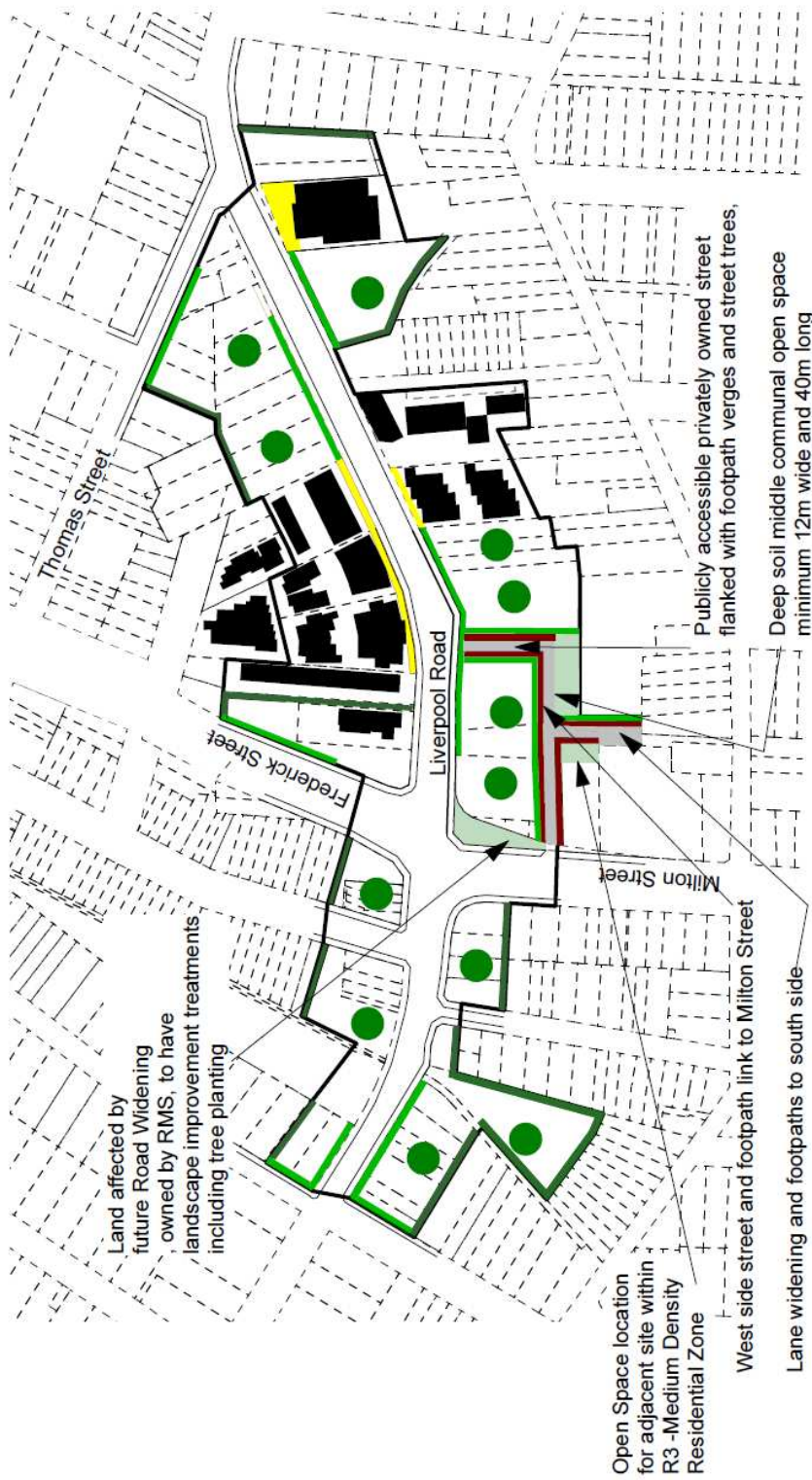
PLANTING SIZE - TABLE 1:

Plant	Min soil depth	Min soil volume
Large trees (over 8m high)	1.3 m	150 cu m
Medium trees (2m to 8m high)	1.0 m	35 cu m
Small trees (up to 2m high)	800 mm	9 cu m
Shrubs and ground cover	500 mm	n/a

FIGURE 2 - Section - Public Verge and front garden deep soil area



MAP 3 - Landscape Areas



Amenity Principle for neighbouring properties :

- 3m min. wide deep soil zone with dense tree planting, to establish a buffer for adjoining dwellings
- 3m min. deep soil zone along frontage to establish trees, for :
 - streetscape improvement and public amenity
 - visual amenity for residents in dwellings facing road
- footpaths on privately owned land, accessible by public

Urban Design and Amenity Principles :

- Sites with existing deep soil planting in front garden areas
 - major existing buildings on sites unlikely to redevelop in short to medium term
- Where residential flat buildings are proposed and affected by State Environmental Planning Policy no 65 a 25% communal open space requirement is required for sites larger than 1200 sq m.

Refer also to notes on map for specific areas

4 PEDESTRIAN AMENITY & SAFETY

OBJECTIVES**Amenity**

- 1 Promote pedestrian activity and safety in the public domain.
- 2 Maximise active street frontages in Ashfield West and define areas where active street frontages are required.
- 3 Require buildings to address the street where active street frontages are required.

Security

- 4 Ensure developments are safe and secure for occupants by reducing opportunities for crime through environmental design.
- 5 Contribute to the safety of the public domain.
- 6 Encourage a sense of ownership over public and communal open spaces.

CONTROLS**Active Street Frontages - required location**

- 1 "Active street frontages" (see Definitions) are required in the areas shown on **Map 4**.
- 2 Where active street frontages are required, Shop top Housing or Residential Flat Buildings shall ensure that upper level parts of buildings have windows or balconies that provide surveillance of the public domain.

Building use - visibility to street

- 3 Where shopfronts or business reception areas are provided at ground level they should be predominantly glazed in order to ensure they are visible from the street.

Where there are entry lobbies only to residential flat development at ground level, such as to lift lobbies, the width of the lobby shall be a minimum of 5 m and have glazing a minimum of 2.1 metres high in order to achieve adequate visibility and surveillance of the street.

Location of parking

- 4 Any on grade (ground level) car parks are to be set back behind an active street frontage, and designed in accordance with the controls set out in **Part C11 (Clause 5.3)**.

Street Awnings

- 5 Street awnings for pedestrian comfort and weather protection shall be provided to buildings which have zero setbacks to front boundaries for those buildings locations identified on **Map 4 - Active Street Frontages**.

Access (people with disabilities)

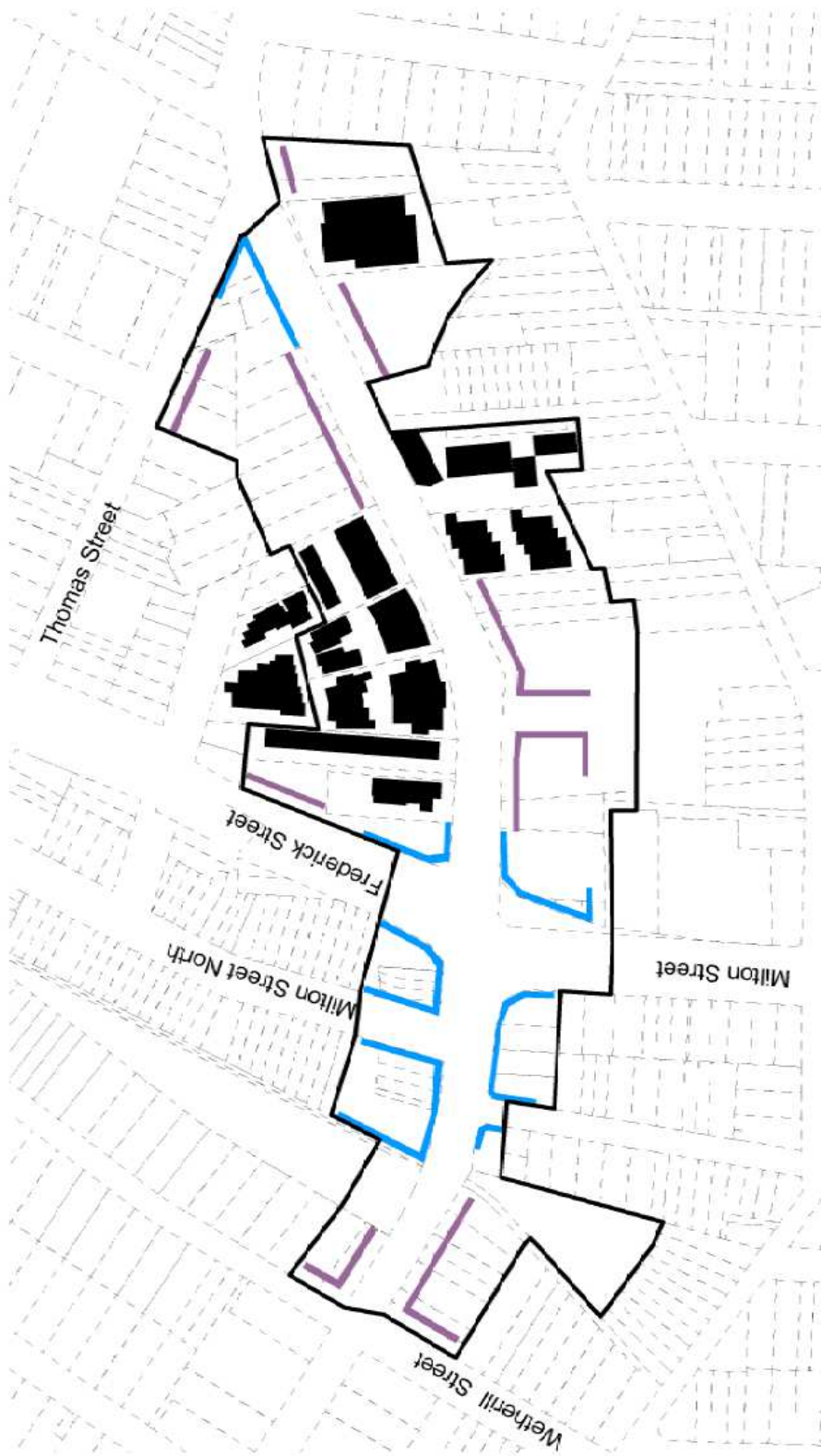
- 6 Refer to **Part C1** for requirements that need to be met for access to the point of entry to dwellings and access within apartments.

Security

- 7 Mixed use/residential development facing rear lanes or public spaces must have windows positioned along that frontage to ensure that surveillance of the public domain occurs.
- 8 The following security devices are required in a building containing apartments.
- Ground and first floor levels shall have fitted security devices which comply with the Australian Standard.
 - Ground floor and entry porticos shall have as a minimum double barrel security and fire locks
 - Lighting which meets the relevant Australian standard of 40 lux, spaced at appropriate intervals to provide the required surveillance in basement parking areas and along pedestrian paths.
 - For developments higher than 3 storeys, an electronic surveillance system for open space on the site and for the basement car park areas, which includes a closed circuit television and surveillance camera, linked to a Manager's office which has the relevant control panels.

MAP 4 - Active Street Frontages follows

MAP 4 - Active Street Frontages



- Read this map in conjunction with Map 2 which shows preferred building locations
- Locations where ground floor active frontages are required for buildings which are setback from the front boundary
- Locations where ground floor active shopfronts are required for commercial parts of buildings adjacent the front boundary
- Existing substantial buildings on sites unlikely to redevelop

5. RESIDENTIAL AMENITY

OBJECTIVES

- 1 Ensure that amenity considerations affecting residents are carefully considered including solar access, privacy/overshadowing impacts affecting adjacent and nearby residential properties and traffic noise mitigation.
- 2 Ensure careful consideration is given to the matter of apartment design and reducing traffic noise from Liverpool Road and from Milton Street to protect the amenity of occupants of apartments.
- 3 Provide adequate areas of recreational open space for residents.

CONTROLS**Maximum acceptable noise levels inside apartments**

- 1 Maximum noise levels for specific rooms within apartments shall be :
 - Living areas 40 dBA
 - Bedrooms 35 dBA

Development Applications for apartment buildings shall provide evidence from an acoustic engineer that this requirement can be achieved including details of the type of glazing materials and design methods used.

Apartment building design - northern side of Liverpool Road.

- 2 For buildings located along the northern side of Liverpool Road, a majority of apartments shall have their living areas oriented to the north as shown in the “apartment layout principles diagram” in **Figure 4** . Other rooms located adjacent to the road may alternatively have adjustable glazing which is adequate in thickness to reduce noise levels into the rooms. This is in order to minimise exposure to traffic noise, provide acceptable levels of amenity to residents, and provide adequate surveillance of footpaths for public safety.

Note: The above requirement may require the use of more than one lift and separate circulation hallways.

Apartment building design - Southern side Liverpool Road.

- 3 For Buildings located along the southern side of Liverpool Road, the majority of apartments shall have their living areas within a “cross through” apartment layout, with living areas having a dual orientation opening onto the southern “quiet side” and also northern orientation for solar access as shown in the apartment layout principles in **Figure 5** . This will minimise exposure to traffic noise, provide acceptable levels of amenity to residents, and provide surveillance of public areas to achieve “safer by design” objectives.

Note: The above requirement may require the use of more than one lift and separate circulation hallways.

Apartment building design - Frederick Street and Milton Street

- 4 For buildings located adjacent Frederick street and Milton Street which are directly exposed to traffic noise, apartments shall have “cross through” layouts which have living areas opening onto the “quiet side” within the site, and also have a dual orientation to enable morning and afternoon winter solar access as explained in the apartment layout principles **Figure 6**. This is in order to minimise exposure to traffic noise, provide acceptable levels of amenity to residents ,and provide adequate surveillance of the main road verges for public safety.

Note: The above requirement may require the use of more than one lift and separate circulation hallways.

FIGURES 3-6 FOLLOW

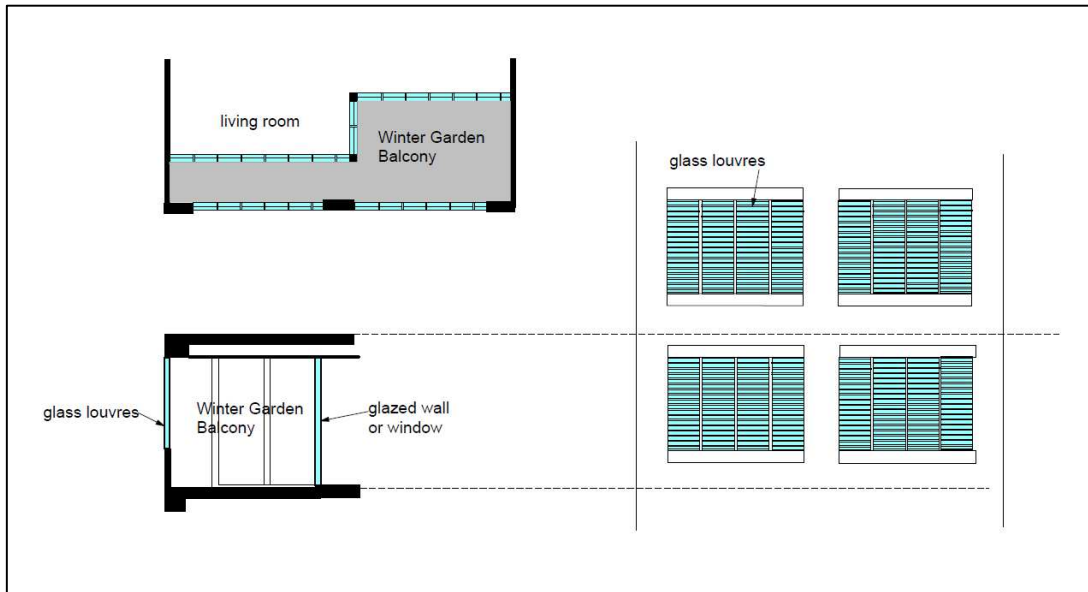


Figure 3: “Winter Garden Balconies” for noise reduction

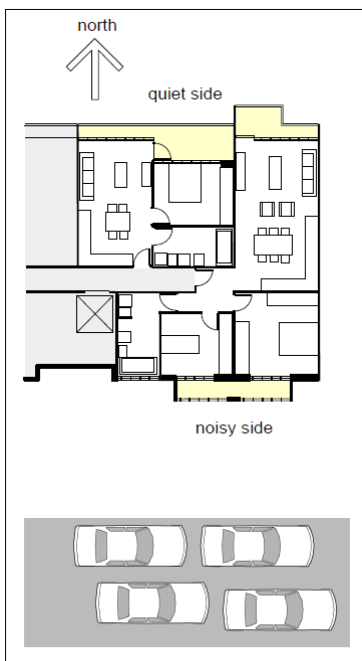


Figure 4: Northern orientation with apartments on “quiet side”

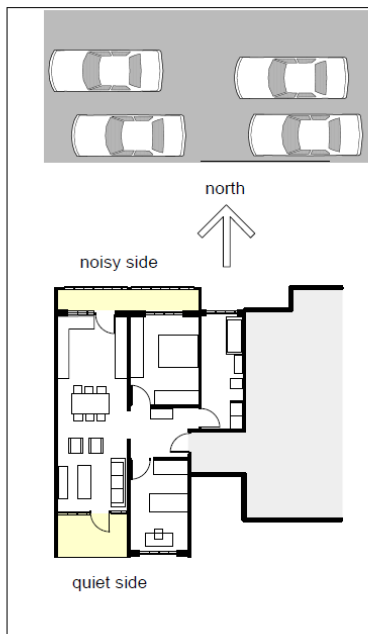


Figure 5: Dual Aspect apartments on southern side of road, with living areas opening onto “quiet” side within site.

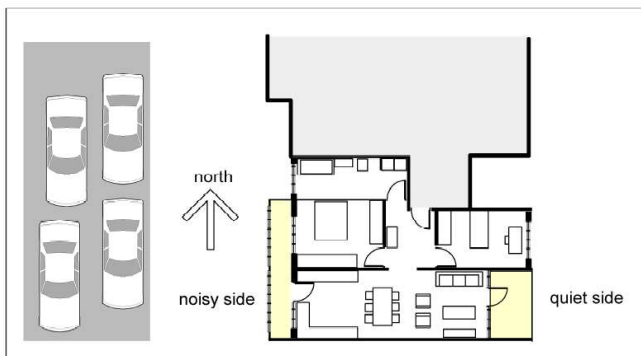


Figure 6: Dual Aspect apartments with an east west orientation, with living areas opening onto “quiet” side within the site.

Location and amount of communal open space

- 5 See **Section 3 – Landscape** for requirements for provision and location of communal open space for apartment buildings.

Landscaped buffer areas adjoining neighbouring residential sites

- 6 Refer to **Section 3 and Map 3 -Landscape areas** which shows locations for deep soil areas for tree planting of trees in order to provide a landscape “amenity buffer” and screening to neighbouring houses. These areas shall be a minimum of 3m wide, contain deep soil and not have any structures located beneath them. This is in order to have adequate soil volume, drainage conditions etc. for trees to thrive and sufficient depth to allow for tree canopies.

CONTROLS FOR SPECIAL SITES**Ashfield RSL site – Communal open space requirement**

- 7 See **Section 3 Landscape** for special communal open space requirements for mixed use or residential flat building development at 362-378 Liverpool Road (Ashfield RSL site)

6 COMMERCIAL DEVELOPMENT

OBJECTIVES**Maximise ground level commercial space in mixed use developments**

- 1 Maximise the amount business (non residential) floor area at ground level for particular sites in order to provide for employment floor space, activate the street frontage and buffer any upper floor residential uses.

Services - location

- 2 Ensure that mixed use/commercial developments achieve good urban design outcomes by concealing as far as possible the visual impact of utilitarian components of development such as car park entries, service areas, waste collection, air conditioning and electronic devices.

CONTROLS**Ground level business use**

- 1 Where buildings have zero front building setbacks, as shown on Map 2, and have non - residential uses at ground level, the majority of the ground floor area of buildings should comprise business use. Residual areas for service functions such as driveway ramps, waste storage, plant rooms etc. must be screened from the public domain. This can be achieved by complying with **Section 8 - Development Servicing**.

Car parking

- 2 Car parking required pursuant to this Plan shall be placed below ground level for more substantial developments in order to maximise ground level commercial space, and to maximize potential for active street frontages - Refer **Part C11**.

Servicing requirements

- 3 Service Areas for commercial development shall be provided in accordance with **Section 8- Development Servicing, Controls - Clause 6** . Refer also to **Part C11**.

Minimum ground floor ceiling height

- 4 Ground floor commercial uses of all mixed-use and/or non-residential buildings are to have minimum floor to floor heights which provide adequate ceiling heights for commercial use. As a minimum 3m - 3.6m is required in order to have adequate height between the ceiling and the first floor slab for installation of services.

Advertisements

- 5 Refer to **Part C2** of this Plan and **Schedule 2 of Ashfield LEP 2013**. Some signage is also controlled by [State Environment Planning Plan No. 64](#). SEPP 64 includes requirements for making signage compatible with the desired future character of an area.

Shopfront/Display area design

- 6 The minimum amount of shopfront glazed area shall be as stipulated in **Section 4 - Pedestrian Amenity and Safety**.
- 7 Shopfronts/display areas shall not have any “roll-a-door” type grille or opaque security shutters (excluding predominantly transparent security shutters).
- 8 Shopfront/display area designs shall be arranged in a way which complements the building style of the façade and enhances the streetscape.

Service areas

- 9 Service areas shall be provided in accordance with **Section 8 - Development Servicing**.

Air-conditioning units and satellite dishes

- 10 Air-conditioning units and satellite dish elements shall be designed and located as follows:
- a) Must not be located on front façade or above an awning and be positioned at the side or rear of the building.
 - b) Must be setback at least 1.5 m from all adjoining property boundaries, other than the front building line adjoining the street.
 - c) Must use non-reflective materials.
 - d) If a satellite dish roof is wall or pole mounted, diameter must not exceed 1.8 m excluding feed element; must be located to rear of property; and not extend above the highest point of the roof or located above a parapet.

7 SOCIAL CONSIDERATIONS & RESIDENTIAL DEVELOPMENT

OBJECTIVES

OBJECTIVES

- 1 Respond to [State Environmental Planning Plan No 65](#) – Objectives Principle 9 - Social Dimensions, and the [Residential Flat Design Code – Part 03 - Building Configuration - Apartment Mix](#) , in order to ensure that residential development provides a mix of dwelling types and sizes to cater for a range of household types and occupancy rates.
- 2 Address **SEPP 65 “Social Dimensions”** by requiring a certain percentage of smaller dwellings which will be comparatively more affordable in terms of rental cost and purchase price.
- 3 Address **SEPP 65 “Social Dimensions”** by requiring **Universal Design** to be an upfront consideration in the design process (see **Part C1**) .

CONTROLS

Smaller apartments are required

- 1 A minimum of 20% of the number of apartments in residential flat buildings or shop top housing developments with more than 5 dwellings should be smaller studio or 1 bedroom apartments.

Access for people with disabilities

- 2 It must be demonstrated at Development Application stage that the proposed building design layout is capable of achieving compliance with Building Code of Australia requirements for access to buildings for people with disabilities, including (where applicable) up to the point of entry into a buildings containing residential apartments.

Refer to **Part C1** of this Plan which details Council’s **Universal Accessible Design Requirements** for residential apartment layouts.

8 DEVELOPMENT SERVICING

OBJECTIVES

1. Ensure that site services and facilities are adequate for the nature and quantum of development.
2. Establish appropriate access and location requirements for servicing of development.
3. Ensure servicing activities do not have adverse amenity impacts.
4. Minimise vehicle access points and driveway crossings to improve pedestrian safety and streetscape amenity.
5. Ensure site facilities such as clothes drying areas, mail boxes, recycling and garbage disposal units/areas, screens, lighting, storage areas, air conditioning units and communication structures, are effectively integrated into development and are visually unobtrusive.
6. Locate parking areas so that they are not visible from the public domain.

CONTROLS**Vehicle access points**

- 1 Driveways which provide access to development for car parking, deliveries for loading and unloading and waste collection, shall be provided from road locations generally in locations identified on **Map 5 - Development Servicing and Access**. “Upfront” consultation prior to any design finalisation should occur with Council’s engineers and RMS to determine satisfactory locations.

Driveways to underground parking areas

- 2 Access ways to underground parking areas should be sited and designed to minimise noise impact on adjacent or nearby habitable rooms, including bedrooms.

Location and amount of parking areas

- 3 Refer to **Part C11 - Parking – Design Principles**
- 4 Adequate facilities are to be provided within any new development for the loading and unloading of service/delivery vehicles

Design of service areas

- 5 An area shall be provided on site to accommodate bins for garbage collection and recycling of waste. This area shall not be visible from the street, behind the building line, and where possible located in a basement levels and using service lift access to transport bins to ground level for collection. Refer to diagrams in **Figures 7 and 8**.

- 6 Areas for waste collection, loading and unloading, are to be detailed at development application stage. This shall be demonstrated by submitting a “service area function plan” similar in format to that shown on **Figures 7 and 8** with the development application which shows:
- Waste collection room areas, including garbage bins, recycling bins, other bins, using the data in Waste Storage Information sheet in Section 9.
 - Pathways for manoeuvring of bins to and from Waste collection room areas.
 - Required truck manoeuvring areas, and or truck parking positions for the emptying of bins onto trucks
- 7 Service doors and loading docks are to be adequately screened from street frontages and from active overlooking by existing development.

Mail boxes

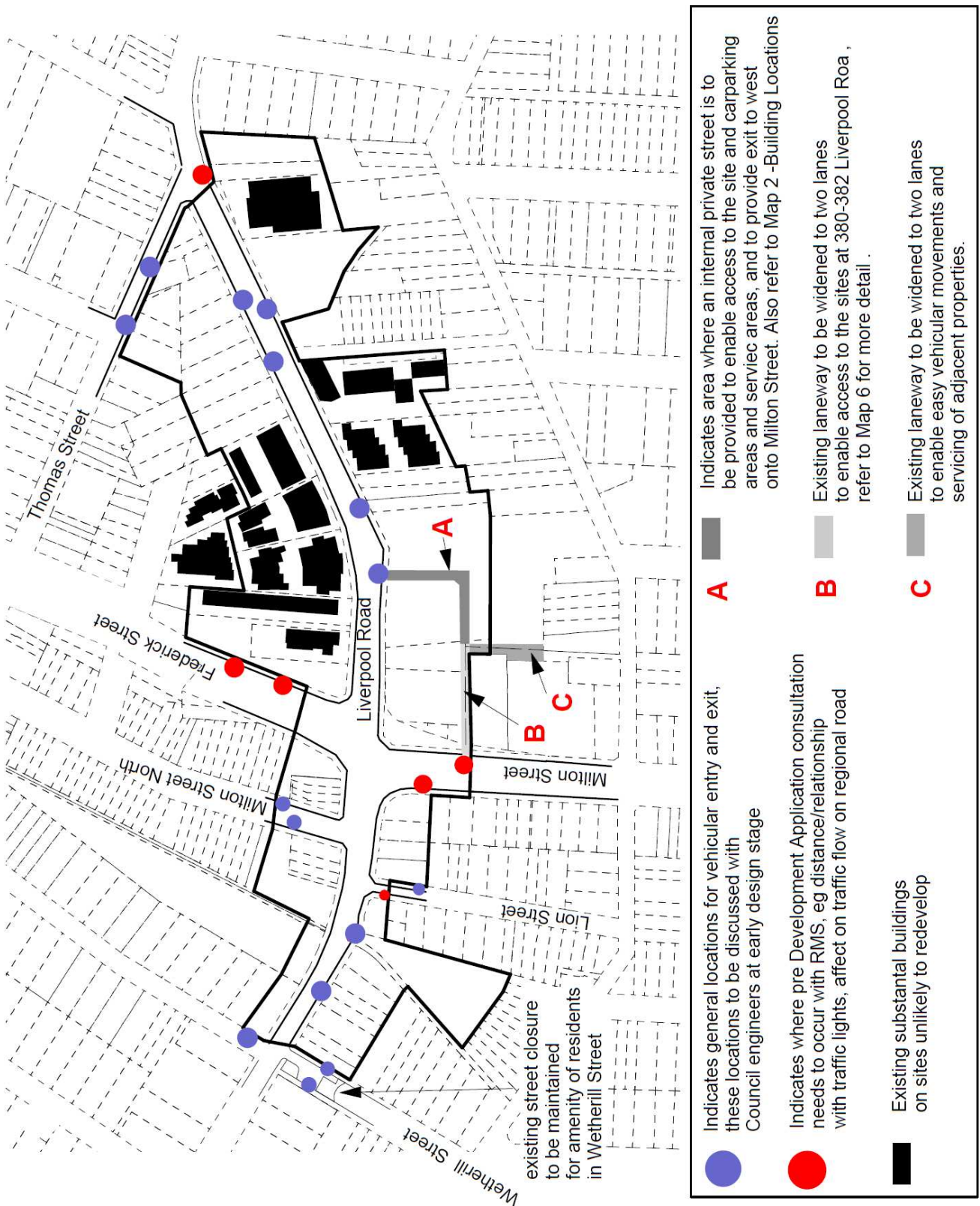
- 8 Mail boxes for buildings shall be provided in an accessible location adjacent to the main entrance to the development. Mail boxes should be integrated into a wall where possible with material finishes and colours that complement the finishes of the building. Mail boxes must be secured and large enough to accommodate small parcels.

Communication structures, air conditioners and service vents

- 9 Satellite dish and telecommunication antennae, air conditioning units, ventilation stacks and any ancillary structures should be located:
- away from street frontages,
 - integrated into the roof designs and placed in a position where such facilities will not become a skyline feature at the top of any building, and
 - adequately setback from the perimeter wall or roof edge of buildings.

MAP 5 - DEVELOPMENT SERVICING & ACCESS FOLLOWS

MAP 5 - DEVELOPMENT SERVICING & ACCESS



- Indicates general locations for vehicular entry and exit, these locations to be discussed with Council engineers at early design stage
- Indicates where pre Development Application consultation needs to occur with RMS, eg distance/relationship with traffic lights, affect on traffic flow on regional road
- Existing substantial buildings on sites unlikely to redevelop
- A Indicates area where an internal private street is to be provided to enable access to the site and carparking areas and service areas, and to provide exit to west onto Milton Street. Also refer to Map 2 -Building Locations
- B Existing laneway to be widened to two lanes to enable access to the sites at 380-382 Liverpool Road , refer to Map 6 for more detail .
- C Existing laneway to be widened to two lanes to enable easy vehicular movements and servicing of adjacent properties.

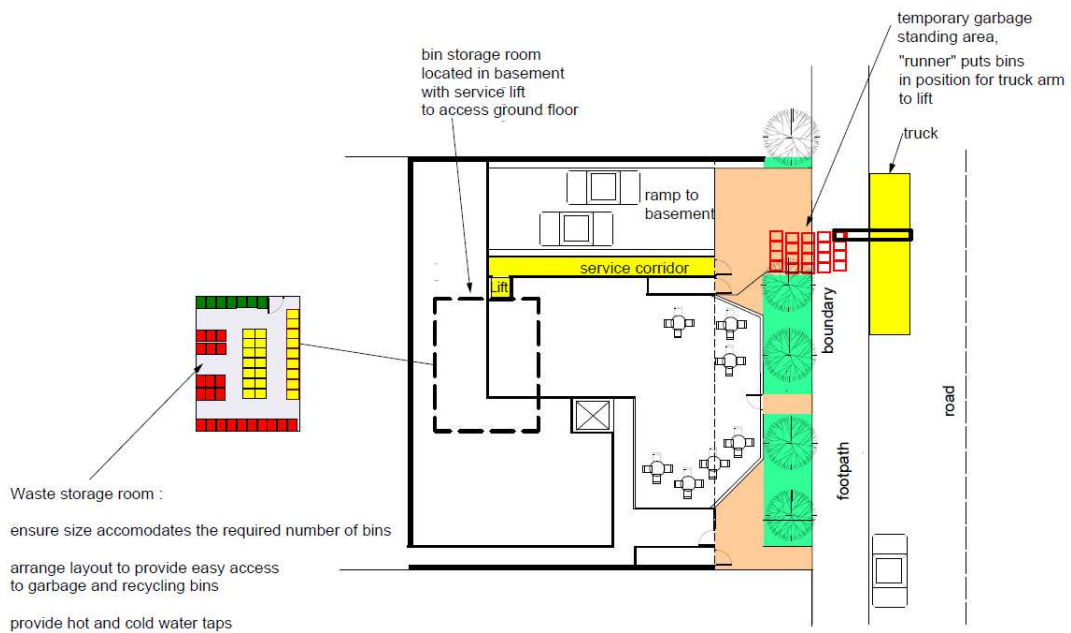


Figure 7 : Development Servicing Concept Plan - ground level business use

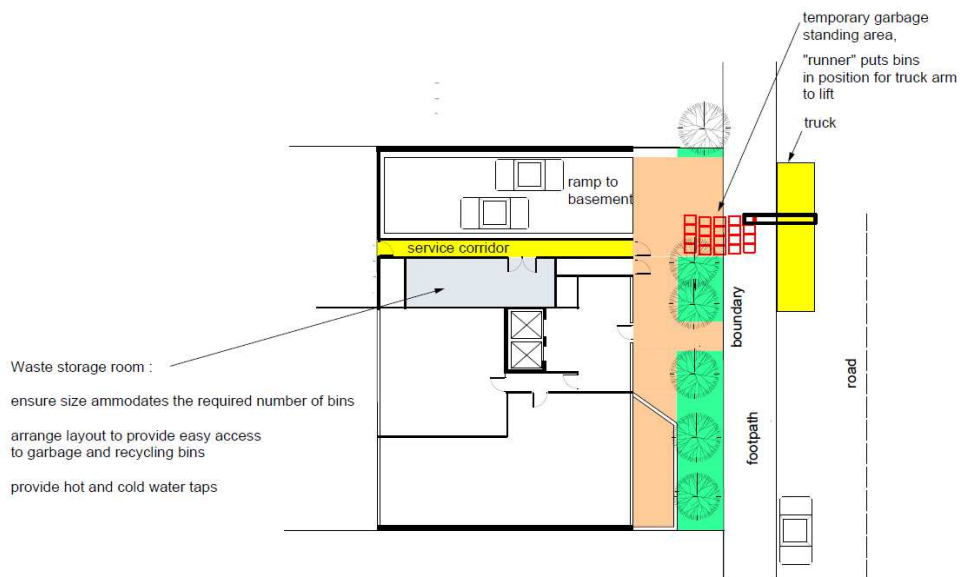


Figure 8 : Development Servicing Concept Plan - ground level residential use

9 ENVIRONMENTAL MANAGEMENT

OBJECTIVES**Sustainable development**

- 1 Encourage environmental performance in Ashfield West which goes “beyond” mandatory legislation such as BASIX.
- 2 Ensure that building design at development application stage is likely to comply with the energy provisions of the Building Code of Australia at the Construction Certificate stage.

Reflectivity

- 3 Avoid reflecting of sunlight from buildings onto surrounding areas and buildings.

Waste Recycling

- 4 Achieve minimum levels of recycling of waste generated by development.

CONTROLS**Energy Efficiency & Water Use**

- 1 Class 2 apartment buildings must comply with BASIX.
- 2 Class 5 to 9 (non-residential) buildings are required to comply with Building Code of Australia (BCA) Part J, Energy Efficiency Provisions. In order to ensure compliance, and to minimise/avoid the need for development consent modifications an **Energy Efficiency Report** stating that the architectural design will comply with the BCA shall be prepared by a suitably qualified consultant and submitted with the development application where the work exceeds \$2 million in value.

Clothes Drying Locations

- 3 Balconies shall be designed to accommodate an area for the drying of clothes, and designed/placed to screen the drying area from public view.

Reflectivity

- 4 New buildings and facades must not result in glare that causes discomfort or is hazardous to pedestrians or drivers.
- 5 Visible light reflectivity from building materials used on facades of new buildings should not exceed 20%.
- 6 Depending on the extent and nature of glazing and reflective materials used, a Reflectivity Report that analyses potential solar glare from the proposed development to pedestrians or motorists may be required.

Waste and recycling, amount of bins, truck sizes

- 7 Developments shall submit a waste generation management statement showing the amount of waste day to day activities will generate, and a description of how occupants of the development will transfer their waste to waste collection areas on the site. This information shall be used to determine the size of waste collection areas necessary to comply with **Section 8 - Development Servicing (Controls) - Clause 6**.
- 8 A service function plan showing the location of waste areas shall be provided as required by **Section 8 - Development Servicing**

Note: The **Data Sheet** below contains information on council's bin sizes, and the desired allocation of garbage bins, recycling bins, compost bins, with respect to particular development types

DATA SHEET FOLLOWS

Waste Storage - Data Sheet**(a) Residential development in the Ashfield Town Centre**

All residential developments must be designed to be suitable to be able to have their waste collected by Council's trucks.

The following minimum amount of bins are required:

- Garbage bin allocation: One 240 litre per two dwellings.
- Recycling bin allocation : One 240 litre per two dwellings.
- Bin Size: Overall height=1080 mm, Width = 575mm, Depth =730 mm, maximum load 70kg.

Residential Flat development which is 6 storeys and over above ground level, will require the following:

- (i) garbage chutes, accessible from each residential level by respective residents, to take garbage which shall be collected at a lower floor level, shall be provided except where (ii) applies.
- (ii) Each individual dwelling's waste is to be transferred to a basement garbage storage room by the occupants of the particular dwelling.
- (iii) Enclosed but accessible alcoves/ storage cabinets, which shall be located on and be accessible from each residential level, to store recyclable waste produced from each dwelling. Such waste shall be collected by the building's caretaker and transferred to the main waste collection room.

(b) Non residential development

Council is not required to collect waste from business properties and Proprietors shall arrange and pay for waste collection by their own contactors. Proprietors may request that Council collect their waste, but this collection will be subject to special arrangements being made with Council, to Council's satisfaction.

Each development must allow sufficient area for storage of waste. This will depend on the size of the businesses' operation, as a minimum, small businesses are required to have the following bins:

- Garbage bin allocation: One 240 litre bin
- Recycling bin allocation : One 240 litre bin
- Bin Size: Overall height=1080 mm, Width = 575mm, Depth =730 mm, maximum load 70kg.

In the event that the number of bins is not sufficient to store all the waste, and that there is insufficient area within the waste storage room on site to store more waste, the proprietor shall arrange for waste collection on a more frequent basis, eg twice or three times per week.

(c) Truck sizes for Waste Collection

Council's engineers shall be consulted to check the size of Council's Waste trucks and vehicular turning circles and headroom clearances. Note that the garbage vehicles lifting arm is only on the left hand side of the vehicles and dictates the location for the lifting of bins on a site and the position of the truck.

10 CONTROLS FOR SPECIAL AREAS

10.1 364-378 Liverpool Road, including Ashfield RSL site (Land within B4 Mixed Use Zone)**OBJECTIVES**

- 1 To apply site specific controls to particular sites, in order to improve the permeability of major sites and interface with adjoining areas and amenity for local residents.
- 2 The Controls specified at 1-4 below apply to any significant large scale redevelopment of that section of the Ashfield RSL Club site currently zoned for B4 Mixed Use purposes at 364-378 Liverpool Road. These site specific controls (previously agreed in discussions with the Club owners as part of a wider community consultation process) are intended to achieve good development outcomes for mixed use purposes including a possible new club building and associated apartments within building complexes up to 6 storeys in height.

Controls

- 1 Clauses 2,3 and 4 apply to any major large scale redevelopment of all sites at 364-378 Liverpool Road within the B4 Mixed Use zone.

Communal Open Space

- 2 A “communal open space” for use by residents to be provided generally in the location shown on **Map 3 - Landscape Areas**.

Central Public Accessible Open Space

- 3 A continuous central open space “spine” area shall be provided between Liverpool Road and Milton Laneway (rear 380 Liverpool Road) as shown on **Map 3 - Landscape Areas**. This is to include a central roadway for traffic access to parking areas and large vehicles access including for servicing, and with any roadway having side verge areas for footpaths and tree planting and street lighting. This area shall be accessible by the general public.
- 4 Traffic access shall be from Liverpool Road or from Milton Lane only (behind 380 Liverpool Road) and not from Norton Street.

10.2 Milton Street laneway , 36-38A Milton Street, and 378, 380-382 Liverpool Road

Note: Any incentive is subject to prior agreement being reached with RMS and dedication/completion of laneway construction.

OBJECTIVES

- 1 To apply site specific controls to particular sites shown on **Map 6**, in order to improve urban design conditions including safety and security of public laneways, landscape setting, and to facilitate vehicular access to sites.
- 2 **Clauses at Controls 1-6** have been derived from the (superseded) Ashfield DCP 2007 Ashfield West Part , which was an agreed set of controls as part of community consultation intended to guide development for a mixed uses including apartments and commercial floorspace up to a maximum FSR of 1.5:1. Ashfield LEP 2013 subsequently increased maximum achievable FSR to 2:1 to align with the Ashfield RSL site.

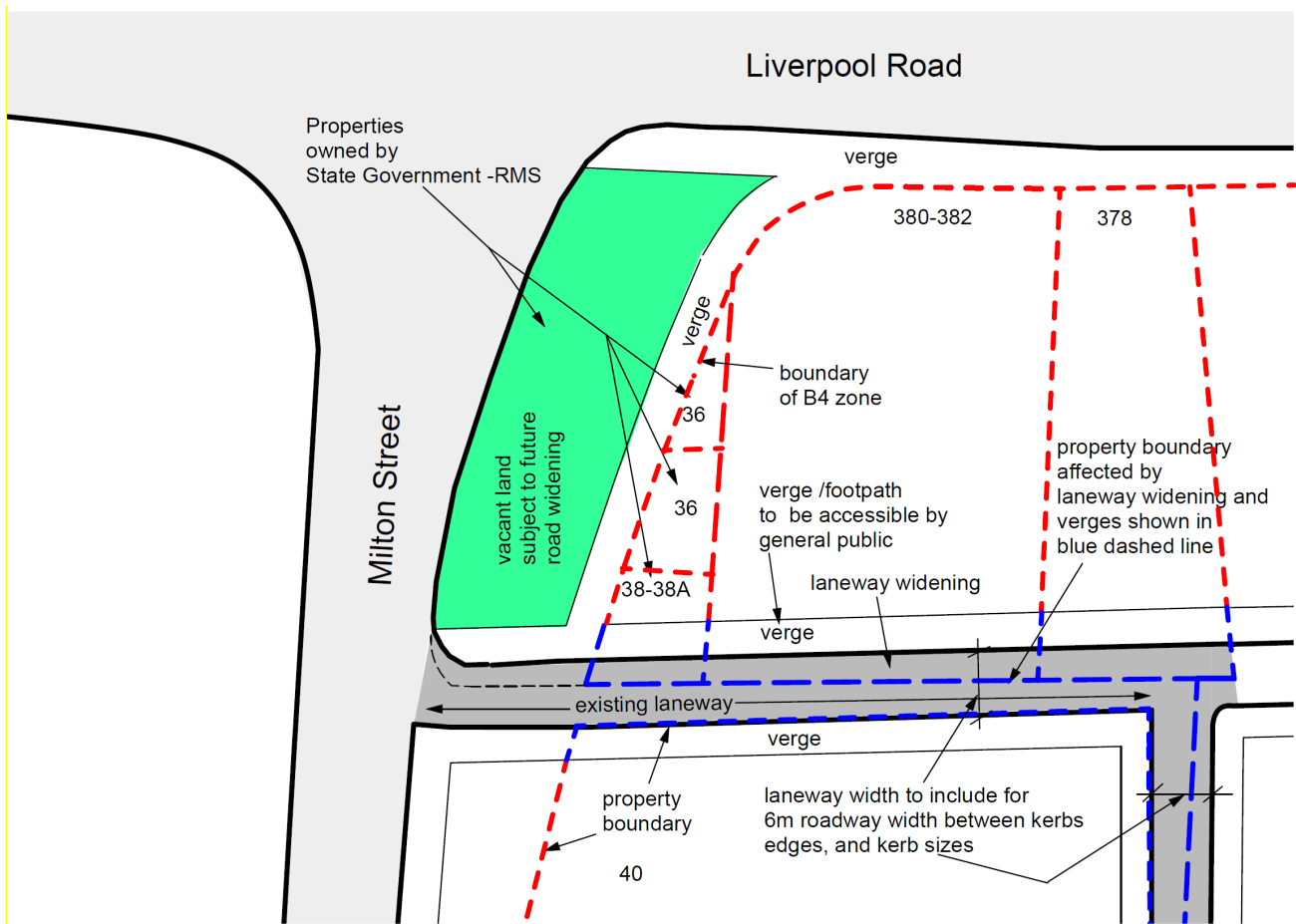
CONTROLS

- 1 For the area shown on **Map 6**, for any major redevelopment of the sites at 380-382 Liverpool Road and 36- 38 Milton Street, Clauses 2-6 below apply:

Widening of Milton laneway

- 2 Milton Lane as shown on **Map 6** shall be widened to a minimum of 6m. measured kerb to kerb, with a footpath area on the northern side minimum 2m. wide and to Council's requirements. Street lighting to Council requirements must also be provided. Widening is required in order to provide 2 lane traffic access into the neighbouring sites and provide safe pedestrian access along the widened laneway. An additional reason is to provide good connectivity with any redeveloped Ashfield RSL site. Widening of Milton Lane will also improve access from Milton Street and facilitate left turn movements into and from the laneway to this street. The widened laneway when completed must be dedicated to Council for public use.

Map 6 – Corner Liverpool Road and Frederick Street, and Milton Lane



- 3 Avoid locating any basement areas beneath the widened laneway, given that this laneway is to be dedicated to Council for public use.
- 4 Consultation shall occur with Roads and Maritime Services to ensure that adequate sight lines are provided for left turning movements into Milton laneway and to ensure any vehicle access points to proposed buildings are appropriately located.

Active shopfronts and surveillance of the street

- 5 Buildings shall have an adequate amount of active shopfronts sufficient enough to provide surveillance of the adjacent public domain. Those buildings on their upper levels shall have windows positioned to be able to provide surveillance of the laneway.

Treatment of vacant land at corner Liverpool Road and Milton Street

- 6 In order to improve the visual appearance of vacant land at the corner with Liverpool Road and Frederick Street owned by the Roads and Maritime Services and reserved for road widening, Council will consider varying maximum permitted floor space ratio for a development application for 380-382 Liverpool Road pursuant to **Clause 4.6** (exceptions to development standards) of **Ashfield LEP 2013** in the following circumstances:
- A landscaping improvement plan is prepared for vacant RMS land (land subject to future road widening shown on **Map 6**) to improve its visual appearance. In order to activate any variation pursuant to **Clause 4.6 of Ashfield LEP 2013** the submitted landscaping proposal is to be endorsed between the developer and RMS with landscaping work to be carried out/completed by the developer in accordance with the requirements of RMS prior to occupation of any approved development on 380-382 Liverpool Road.
 - As the landscaping work is dependent on the agreement of the Roads and Maritime Services and will be an additional cost, in the event agreement is reached the architect shall submit a detailed estimate of costs for the work, prepared by an independent quantity surveyor. The cost of the landscaping work and associated administrative/insurance costs etc. may determine the quantum of the FSR/Height variation considered appropriate by Council.
 - Any variation to FSR controls in Ashfield LEP 2013 is subject to an acceptable urban design outcome being achieved.

DEFINITIONS

Active street frontage means:

A ground level part of a building which provides surveillance of a street and includes any one or a combination of the following:

- entrance to shops and commercial premises
- shop front,
- clear glazed entries to commercial and residential lobbies,
- clear glazed entries residential lobbies,
- café or restaurant if directly accessed from the street,
- active office uses, such as reception areas, if visible from the street,
- public building or community facilities if directly accessed from the street.

Architectural Cues means:

The composition of a building façade displaying an architectural dialogue with another building, such as having particular building parts aligning or being in proportion or in sympathy with parts of another building.

Building height is as defined in the Ashfield LEP 2013, means:

“The vertical distance between ground level, existing and the highest point of the building, including plant and lift overruns, but excluding communication devices, antennae, satellite dishes, masts, flagpoles chimneys, flues and the like”.

Building line means :

The horizontal distance between the property boundary or other stated boundary (measured at 90 degrees from the boundary) and:

- (a) a building wall, or
- (b) the outside face of any balcony

Communal landscape area means:

Open space area provided for communal use and enjoyment, where a large area is set aside, generously proportioned, to provide an open outlook for units within the development and to provide space for active and passive recreation.

Deep soil planting area means

An area “capable of deep planting”, which contains soil , is water permeable and there is no structure below within 3 metres of the natural ground surface, and which is capable of supporting large tree growth.

Landscape area as defined in Ashfield LEP 2013 , means:

“A part of a site used for growing plants, grasses and trees, but does not include any building, structure or hard paved area”.

High compositional standard, for building design, means:

A building design which uses any “abstract” or “modern/contemporary” architectural language , and employs different building components and building materials as credible compositional elements, whose credibility is demonstrated by visually appearing to relate to the "whole building " and giving the building a "unity" and “complexity”. **Note** . A high compositional standard is not considered one that uses repetitive or bland or minimalist forms intended to facilitate easier building construction methods or which simply expresses structural elements.

Townscape means:

The appearance of relationships of buildings and places along the mainstreet, and including general compositional building design elements, such as:

- height and scale and modulation
- proportion of masonry to glazed areas
- design, proportion, symmetry and organisation
- vocabulary of architecture such as mouldings and entablature

Traditional architectural composition for building design means:

An architectural composition using long standing traditional architectural canons including:

- basic tripartite arrangements to facades, employing symmetry and proportion
- "punctuated" extremities, which “signal” the “boundaries “ of the building.
- solid walls, which have "punched" openings for balconies and windows, and have vertically emphasized proportions.
- expression of architectural detailing, such as expression of datum lines and string courses, and a colour palette of materials of medium to dark monotone face brickwork and rendered coloured surfaces.

With the above further developed into an organised and complex composition.

“ Winter Garden Balcony” means :

A term used commonly used to describe a balcony located off a living room area whose function includes that it acts as a noise reduction spatial device . For example, the open part of the balcony can have glazing , which can also be louvred, and so this can be used and adjusted to produce some noise reduction including for the adjacent living areas, but also allows some ventilation by manually adjusting the glazing components. This also assists in winter where the balcony glazing can heat the balcony area and radiate warm air to adjacent living areas – hence the term -“winter garden” - refer to the sketches in Section 5 - Residential Amenity.

END
